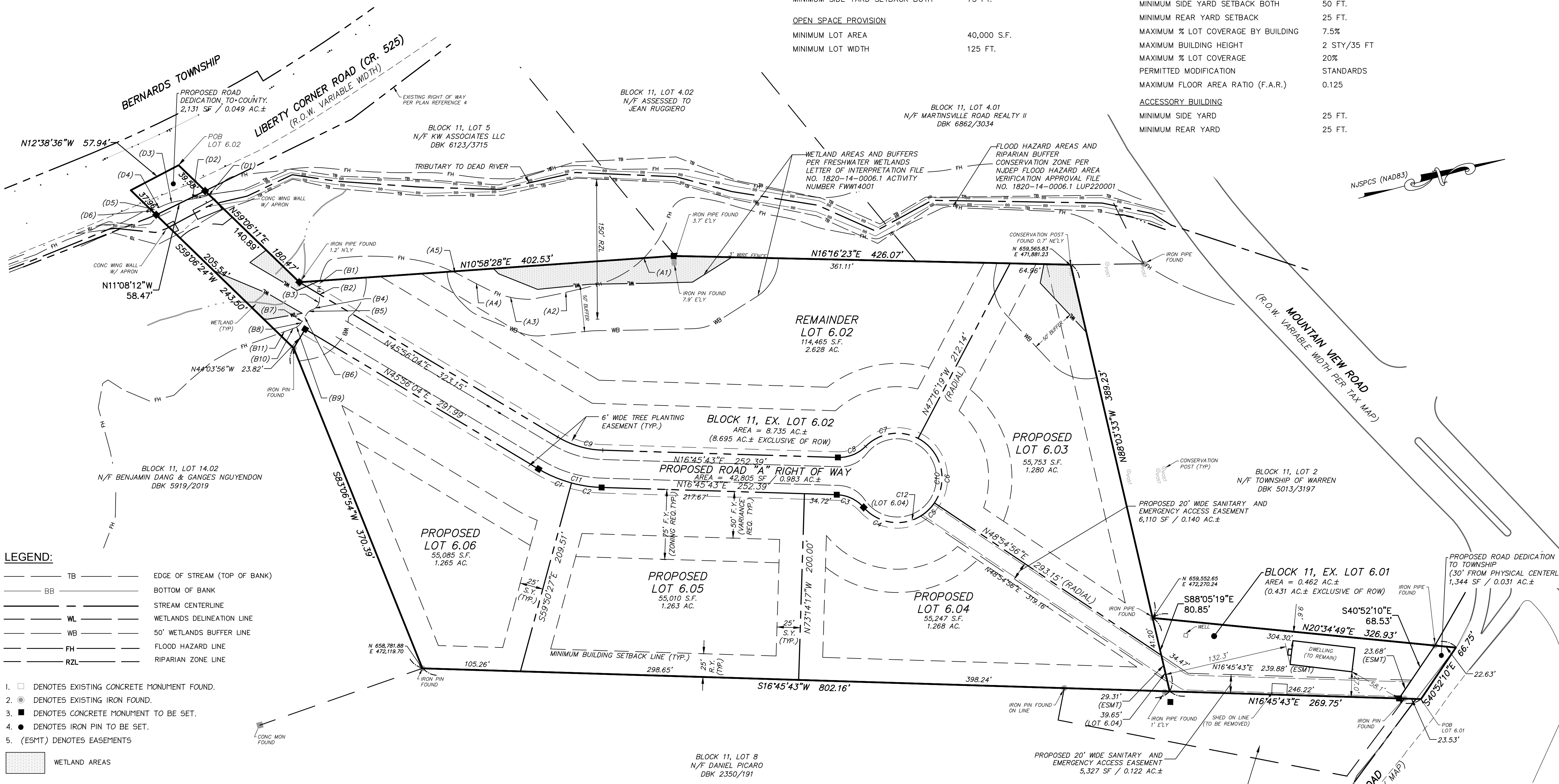
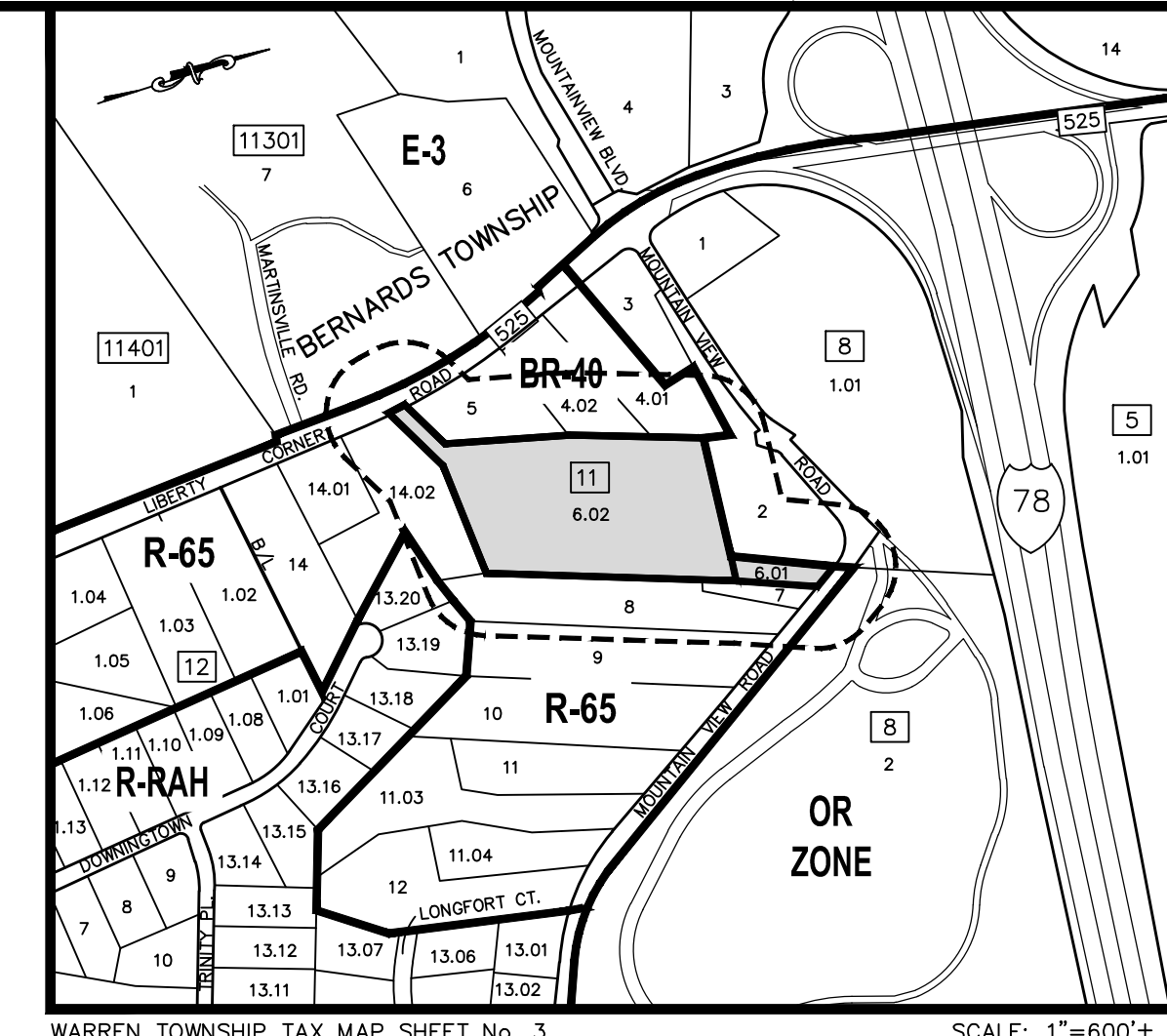


**VARIABLE LOT SIZE PROVISION (CODE SECT. 16-11.6)**

PRINCIPAL BUILDING	REQUIRED
MINIMUM LOT AREA	55,000 S.F.
MINIMUM LOT WIDTH	200 FT.
MINIMUM FRONT YARD SETBACK	75 FT.
MINIMUM SIDE YARD SETBACK SINGLE	25 FT.
MINIMUM SIDE YARD SETBACK BOTH	75 FT.
<b>OPEN SPACE PROVISION</b>	
MINIMUM LOT AREA	40,000 S.F.
MINIMUM LOT WIDTH	125 FT.

**ZONING SCHEDULE - R-65 1 1/2 ACRE RESIDENTIAL ZONE**

PRINCIPAL BUILDING	REQUIRED
MINIMUM LOT AREA	65,340 S.F./1.5 AC.
MINIMUM LOT WIDTH	150 FT.
MINIMUM FRONT YARD SETBACK	75 FT.
MINIMUM SIDE YARD SETBACK SINGLE	25 FT.
MINIMUM SIDE YARD SETBACK BOTH	50 FT.
MINIMUM REAR YARD SETBACK	25 FT.
MAXIMUM % LOT COVERAGE BY BUILDING	7.5%
MAXIMUM BUILDING HEIGHT	2 STY/35 FT
MAXIMUM % LOT COVERAGE	20%
PERMITTED MODIFICATION	STANDARDS
MAXIMUM FLOOR AREA RATIO (F.A.R.)	0.125
<b>ACCESSORY BUILDING</b>	
MINIMUM SIDE YARD	25 FT.
MINIMUM REAR YARD	25 FT.



**LEGEND:**

— TB —	EDGE OF STREAM (TOP OF BANK)
— BB —	BOTTOM OF BANK
— WL —	STREAM CENTERLINE
— WL —	WETLANDS DELINEATION LINE
— WB —	50' WETLANDS BUFFER LINE
— FH —	FLOOD HAZARD LINE
— RZL —	RIPARIAN ZONE LINE

- DENOTES EXISTING CONCRETE MONUMENT FOUND.
- DENOTES EXISTING IRON FOUND.
- DENOTES CONCRETE MONUMENT TO BE SET.
- DENOTES IRON PIN TO BE SET.
- (ESMT) DENOTES EASEMENTS

WETLAND AREAS

SOMERSET COUNTY ACCEPTANCE STAMP

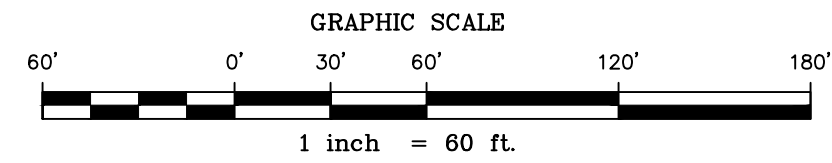
**CURVE TABLE**

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LENGTH
C1	38.55'	140.00'	15°46'32"	N38°02'48"E	38.43'
C2	32.74'	140.00'	13°23'50"	N23°27'38"E	32.66'
C3	32.82'	40.00'	47°00'51"	N40°16'08"E	31.91'
C4	69.40'	48.00'	82°50'10"	N22°21'29"E	63.51'
C5	18.45'	48.00'	22°01'28"	N30°04'20"W	18.34'
C6	80.58'	48.00'	96°11'06"	N89°10'41"W	71.45'
C7	61.14'	48.00'	72°58'49"	S61°41'17"W	57.09'
C8	32.82'	40.00'	47°00'51"	S6°44'43"E	31.91'
C9	50.92'	100.00'	29°10'21"	S31°20'54"W	50.37'
C10	229.57'	48.00'	274°01'40"	N73°14'17"W	65.45'
C11	71.28'	140.00'	29°10'21"	N31°20'54"E	70.51'
C12	87.85'	48.00'	104°51'37"	N11°20'45"E	76.09'

**BLOCK 11, LOT 6.02 FLOOD HAZARD AREA DESIGN FLOOD LINE**

Course No.	Type	Length	Bearing	Delta	Radius	Tangent	Chord	Bearing	Cord Distance
A1	Curve	111.40'		58°11'40"	109.68'	61.04'	S 301°4'54"	W	106.68'
A2	Curve	75.21'		04°49'18"	893.68'	37.63'	S 02°24'52"	W	75.19'
A3	Curve	44.71'		25°13'16"	101.58'	22.73'	S 26°33'46"	W	44.35'
A4	Curve	34.85'		02°19'13"	860.51'	17.43'	S 42°16'54"	W	34.85'
A5	Curve	54.13'		18°54'07"	164.07'	27.31'	S 33°59'27"	W	53.88'
B1	Curve	34.30'		34°25'36"	57.09'	17.69'	S 62°24'21"	E	33.79'
B2	Curve	6.33'		10°07'23"	35.84'	3.17'	S 74°33'28"	W	6.32'
B3	Curve	6.34'		29°13'02"	12.45'	3.24'	S 54°33'45"	E	6.27'
B4	Curve	6.49'		37°46'51"	9.84'	3.37'	S 21°24'19"	E	6.37'
B5	Curve	8.67'		41°48'25"	11.88'	4.54'	S 23°25'05"	E	8.48'
B6	Line	7.16'	S 44°19'18"	E					
B7	Line	3.50'	S 38°23'44"	E					
B8	Curve	0.21'		00°47'25"	15.34'	0.11'	S 38°01'23"	E	0.21'
B9	Curve	2.34'		12°36'19"	10.65'	1.18'	S 37°47'23"	E	2.34'
B10	Curve	8.28'		32°07'11"	14.77'	4.25'	S 15°25'38"	E	8.17'
B11	Line	69.55'	S 04°42'09"	E					
D1	Curve	13.36'		27°07'43"	28.21'	6.81'	S 11°07'31"	E	13.23'
D2	Curve	23.18'		06°08'34"	216.24'	11.60'	S 05°30'38"	E	23.17'
D3	Curve	22.35'		18°58'26"	67.49'	11.28'	S 00°54'18"	E	22.25'
D4	Line	7.14'	S 10°23'31"	E					
D5	Line	3.01'	S 10°26'50"	E					
D6	Curve	4.90'		31°43'59"	8.85'	2.52'	S 05°25'09"	W	4.84'

- NOTES:**
- WETLAND AREAS AND BUFFERS PER FRESHWATER WETLANDS LETTER OF INTERPRETATION FILE NO. 1820-14-0006.1 ACTIVITY NUMBER FFW14001, DATED JANUARY 13, 2015, EXPANDED ON JANUARY 03, 2020.
  - FLOOD HAZARD AREA AND RIPARIAN BUFFER CONSERVATION ZONE PER NJDEP FLOOD HAZARD AREA VERIFICATION APPROVAL FILE NO. 1820-14-0006.1 LUP220001, DATED OCTOBER 4, 2022.



I HEREBY CERTIFY THAT THIS MAP COMPLIES WITH THE PROVISIONS OF CHAPTER 141 P.L. 1960 AND FURTHER CERTIFY THAT IT HAS BEEN APPROVED FOR FILING IN THE OFFICE OF THE COUNTY CLERK OF SOMERSET COUNTY BY THE "PROPER AUTHORITY", THE PLANNING BOARD OF THE TOWNSHIP OF WARREN.

THIS CERTIFICATION SHALL EXPIRE IF THIS MAP IS NOT PROPERLY FILED WITH THE SAID COUNTY CLERK ON OR BEFORE \_\_\_\_\_

DANIEL GALLIC  
PLANNING BOARD CHAIRPERSON

JERRY TOTH  
PLANNING BOARD SECRETARY

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED JANUARY 22, 2022 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

I FURTHER CERTIFY THAT THE MONUMENTS AS DESIGNATED AND SHOWN HAVE BEEN SET.

*Pamela Mathews*  
PAMELA L. MATHEWS, NEW JERSEY PROFESSIONAL ENGINEER AND LAND SURVEYOR No. 4181

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW", RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

CHRISTIAN KASTRUD, PE, CNE  
TOWNSHIP ENGINEER, NEW JERSEY PROFESSIONAL ENGINEER No. 41612

WE, THE UNDERSIGNED, HEREBY DECLARE THAT WE ARE THE OWNERS OF THE LAND DELINEATED HEREON AND WE HEREBY CONSENT TO THE FILING OF THIS MAP IN THE OFFICE OF THE CLERK OF SOMERSET COUNTY.

HAJI MEYRON  
144 LIBERTY CORNER REAL ESTATE LLC  
6 LAVENDER DRIVE  
PISCATAWAY, NJ 08854

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE MUNICIPAL LAND USE LAW, P.L. 1975, c.291 (C.A.D-850-161 seq.)

I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

CATHY REESE  
TOWNSHIP CLERK

THIS PLAT COMPLIES WITH REVISED NEW JERSEY STATUTES 40:27-1 THROUGH 40:27-6.13.

SOMERSET COUNTY PLANNING BOARD

MAP No. \_\_\_\_\_  
FILED IN THE COUNTY CLERK'S OFFICE, SOMERSET COUNTY, NEW JERSEY ON \_\_\_\_\_

**FINAL PLAT**  
PREPARED FOR  
**BLOCK 11 LOT 6.01 & 6.02**

SITUATED IN  
WARREN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY  
PREPARED BY

**VAN CLEEF ENGINEERING ASSOCIATES, LLC**

CENTRAL JERSEY REGIONAL OFFICE  
P.O. BOX 5877, 32 BROWER LANE  
HILLSBOROUGH, NEW JERSEY, 08844

**JULY 08, 2022**  
**REVISED SEPTEMBER 11, 2022**  
**REVISED JANUARY 11, 2023**

THESE PLANS ARE NOT ACCEPTED FOR CONSTRUCTION UNLESS THIS BLOCK IS STAMPED AND SIGNED BY A STAFF MEMBER OF THE SOMERSET COUNTY ENGINEERING DIVISION.

ACCEPTANCE OF THESE PLANS EXPIRES TWO (2) YEARS FROM THE STAMPED DATE.